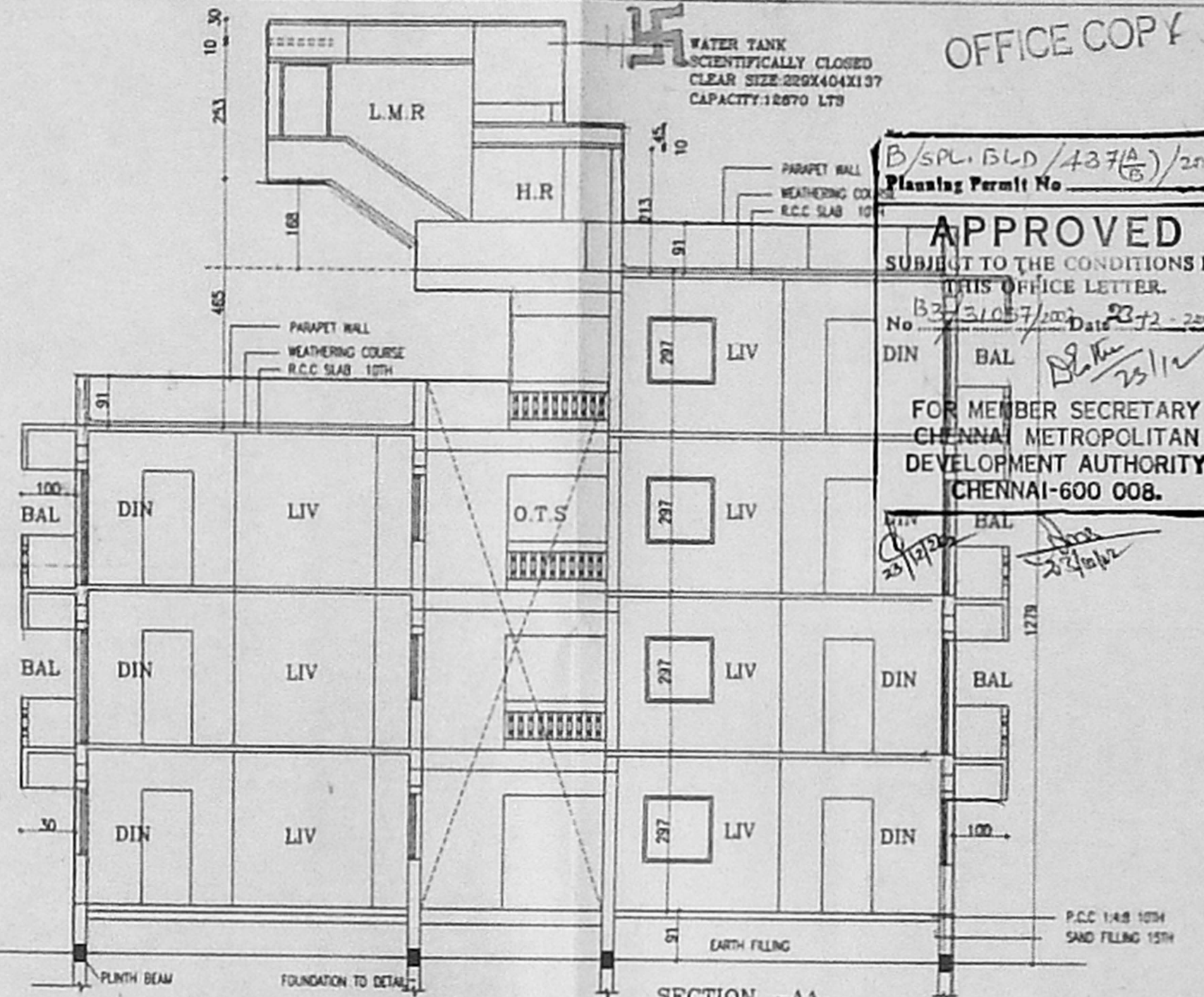


FRONT ELEVATION



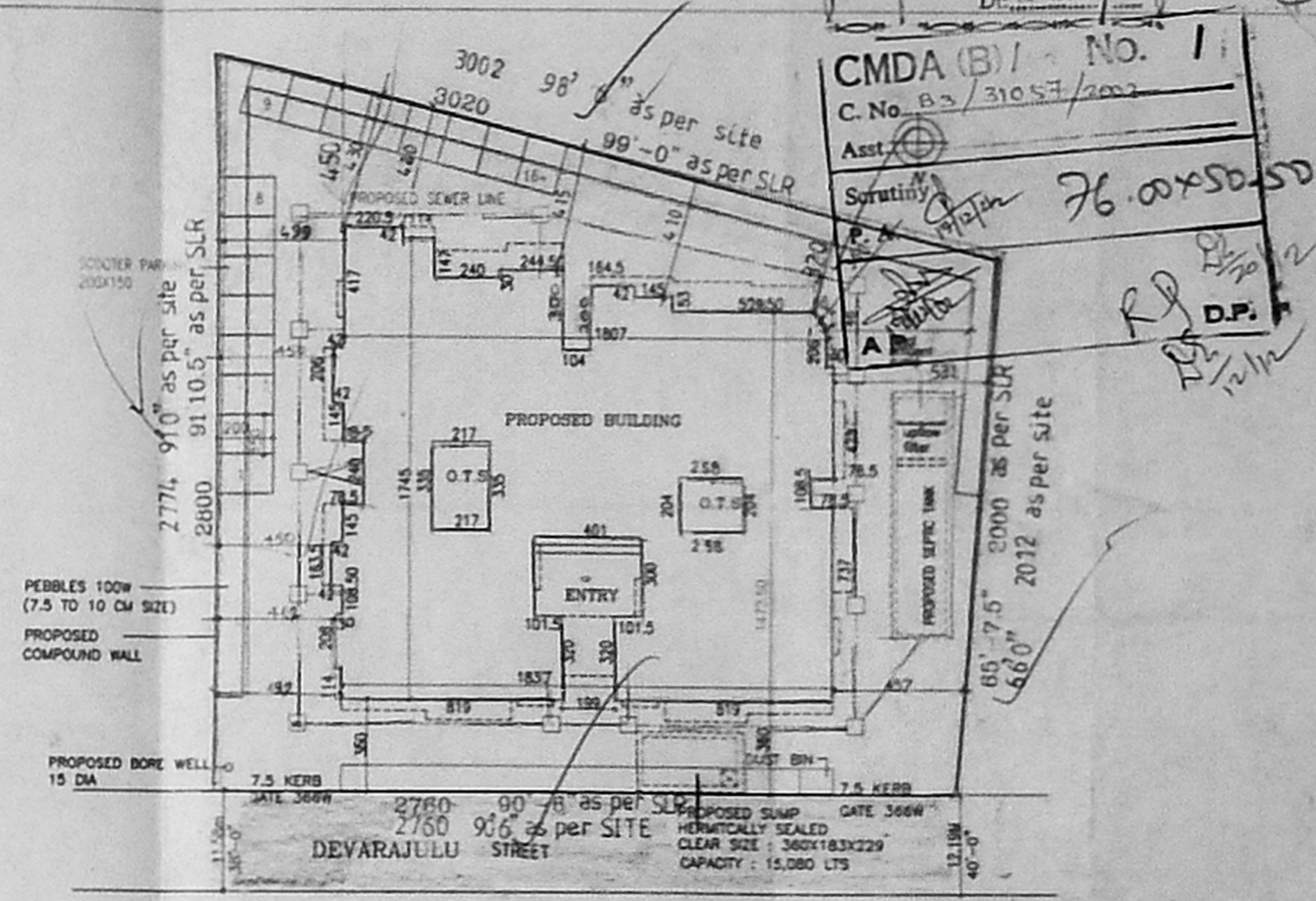
SECTION - AA

OFFICE COPY

B/SPL. BLD/437(A)/2002
Planning Permit No.

APPROVED
SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER.
No. B3/31087/2002 Date 23/12/2002

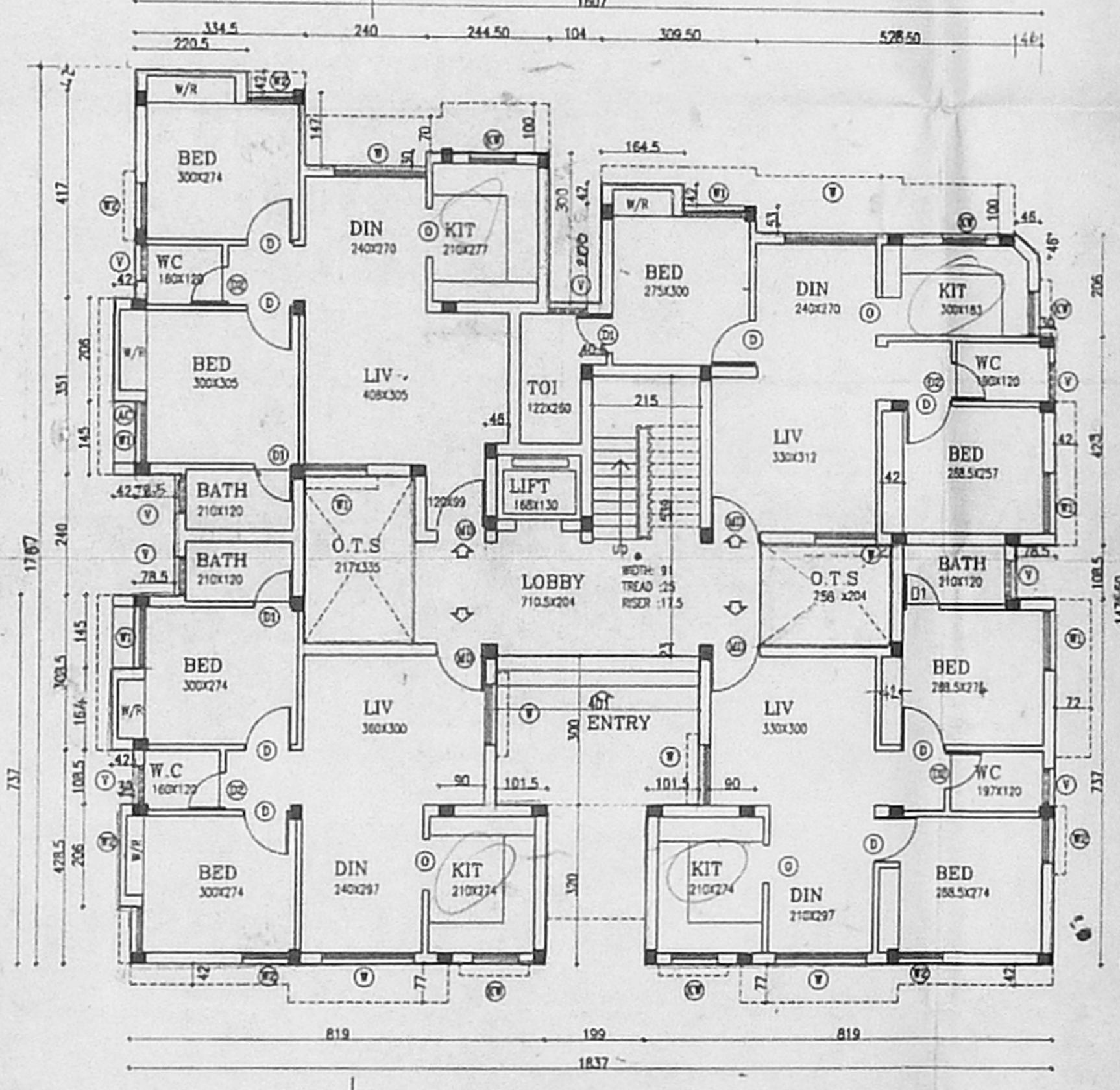
FOR MEMBER SECRETARY
CHENNAI METROPOLITAN
DEVELOPMENT AUTHORITY
CHENNAI-600 008.



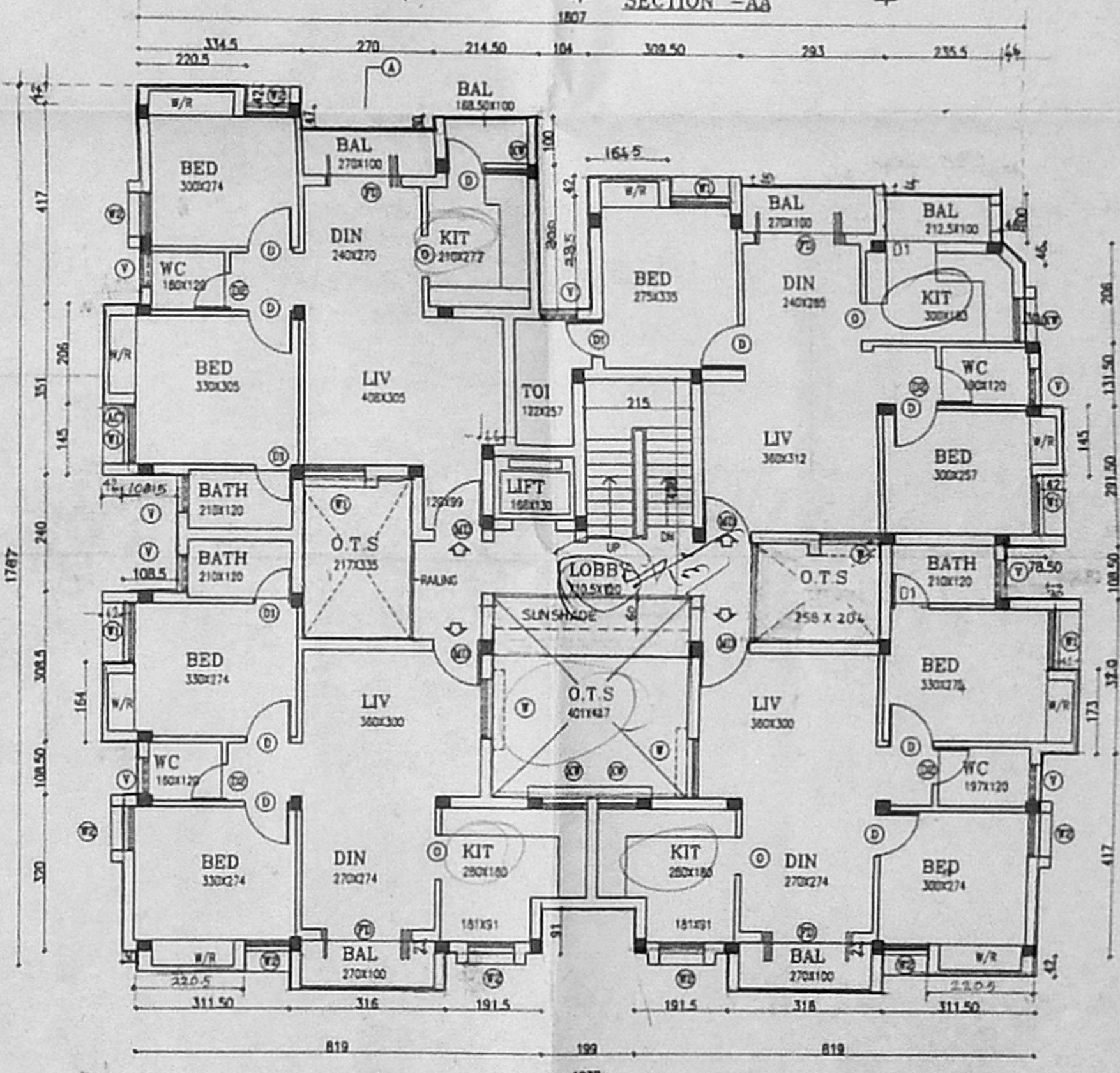
SITE PLAN
SCALE: 1:200

Revised Plan
Dt. 19.12.2002

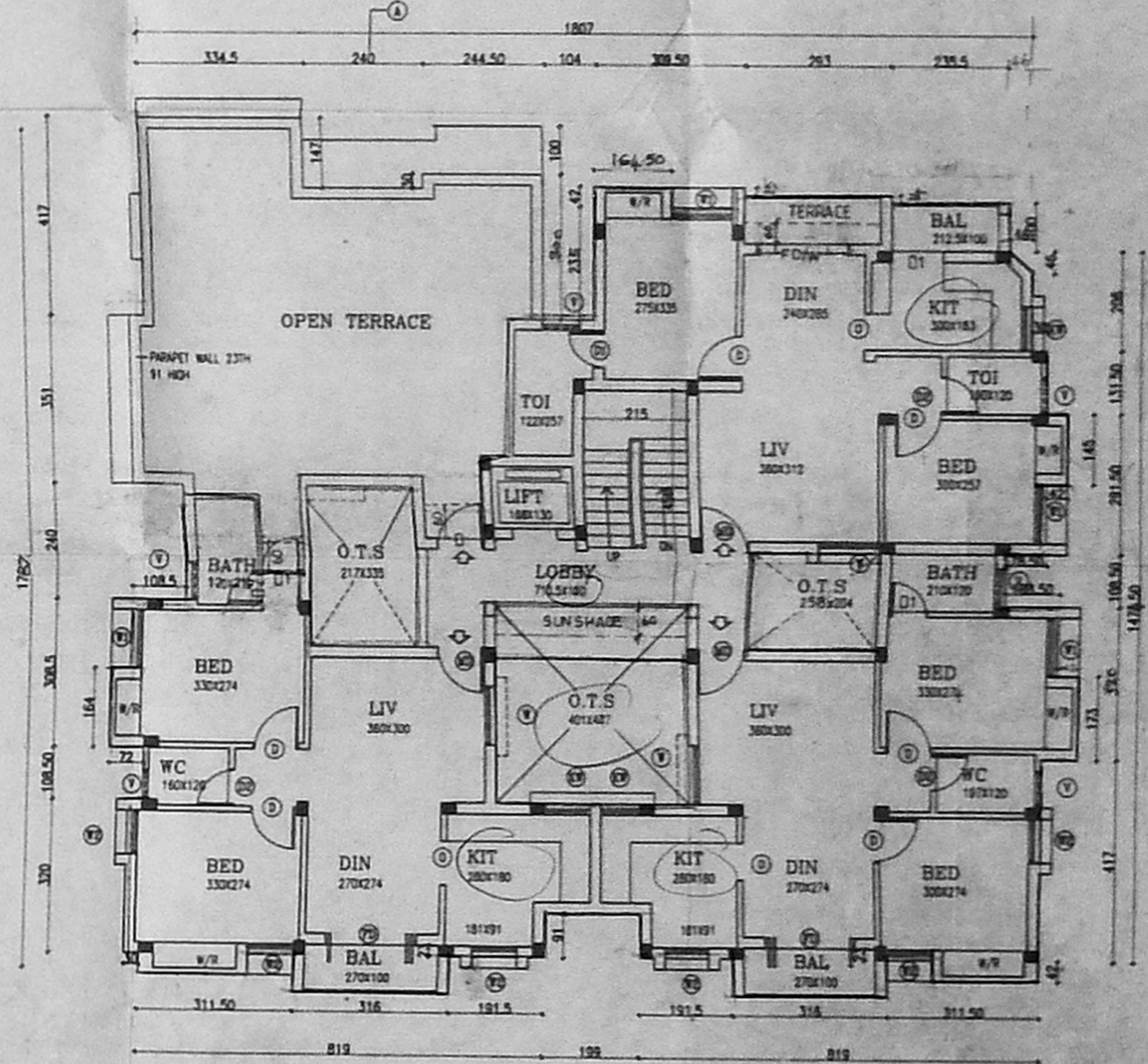
NO. 1
C.No. B3/31087/2002
Asst. Surveyor
Scrutiny
76.00 x 50.50
R.P. D.P.
25/11/02



GROUND FLOOR PLAN



TYPICAL FLOOR PLAN
(FIRST & SECOND FLOORS) - 684.84 sqm (7372 sq ft) as per site



THIRD FLOOR PLAN

JOINERY SCHEDULE				
TYPE	DESCRIPTION	SIZE	W1	WINDOW
MD	MAN DOOR	91X213	W2	WINDOW
D	DOOR	91X213	KW	KITCHEN WINDOW
DI	DOOR	76X213	V	VENTILATOR
DD	DOOR	69X213	O	OPENING
FD	FRENCH DOOR	183X213		
W	WINDOW	243X122		
FW	FRENCH WINDOW	183X183		

SPECIFICATIONS:-	
FOUNDATION	IN R.C.C FOOTINGS.
WALLS	IN BRICK WORK IN CM 1:5 FOR 23TH. WALL & IN CM 1:4 FOR 11.5TH. WALL.
PLASTERING	IN CM 1:3 FOR CEILING & CM 1:5 FOR WALLS.
JOINERY	IN WELL SEASONED WOOD.
ROCC 1:1.5:3	FOR COLLARS, BEAMS, SUNSHADE/INTELS & SLABS.
PAINING	TWO COATS OF CEMENT PAINT OVER ONE COAT OF PRIMER FOR ALL PLASTERED SURFACE, TWO COATS ENAMEL PAINT FOR JOINERIES.
FLOORING	IN MOSAIC TILES IN CM 1:5.

LEGEND	
PROPOSAL	[Symbol]
BOUNDARY	[Symbol]
ROAD	[Symbol]
SEWER LINE	[Symbol]
WATER LINE	[Symbol]
ALL DIMENSIONS ARE IN CM. SHEET NO 1/27	

AREA STATEMENT:			
PLOT AREA	691 SQ.M (7438 SFT) as per site	NON F.S.I	
GROUND FLOOR AREA:	256.11 sqm	HEAD ROOM:	15.27
TYPICAL FLOOR AREA:	558.24	L.M.R	8.00
(First & second floors)	(279.12 x 2 floors)		
THIRD FLOOR	211.06		23.27 SQ.M
TOTAL	1025.41		SQ.M
F.S.I	1025.41		< 1.5
684.84			
TOTAL BUILT UP AREA:	1048.68		SQ.M
		PLOT COVERAGE:	40.15% < 65%

PROPOSAL:
PROPOSED RESIDENTIAL APARTMENTS AT DOOR NO. 18, S.NO: 36 & 37 OLD SNO:594/1A, 2PART BLOCK NO: 21, DEVARAJULU STREET, WARD-B, VENKATAPURAM, AMBATTUR, CHENNAI.

APPLICANT: [Signature]

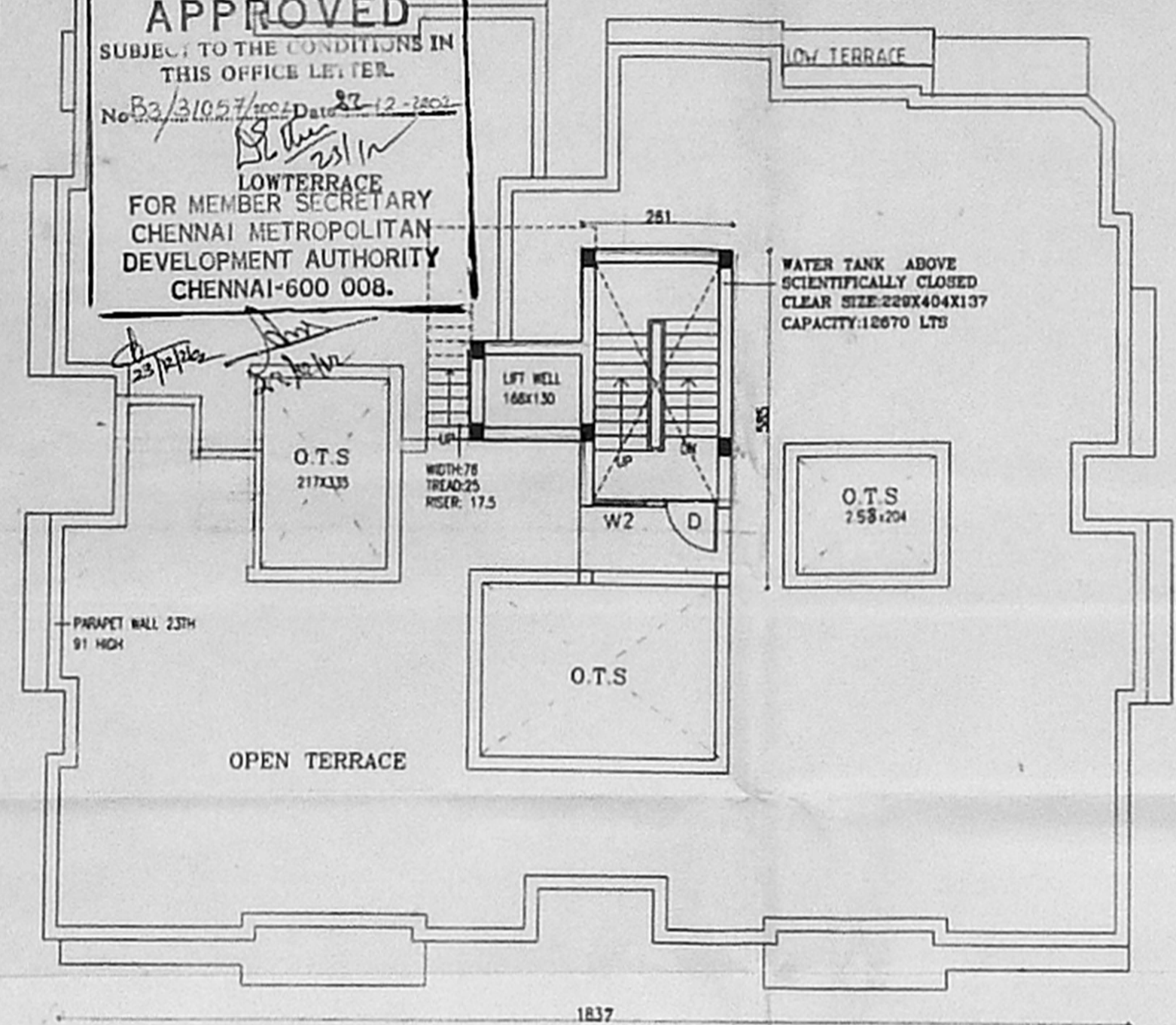
ARCHITECT: [Signature]

C.R. RAJU ARCHITECT
COA No: 1262A, 11A No: 7521
R.A. No: 195 (CORPN. OF CHENNAI)
9, 3rd STREET, GILL NAGAR
CHENNAI-64. Ph: 3743224, 3741977

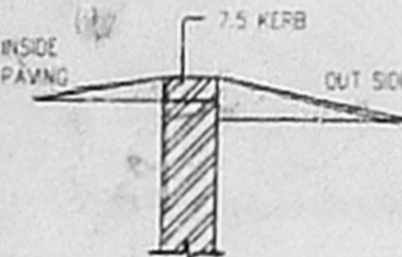
OFFICE COPY

B/SPL.BLD/437(B)/2002
 Planning Permit No.

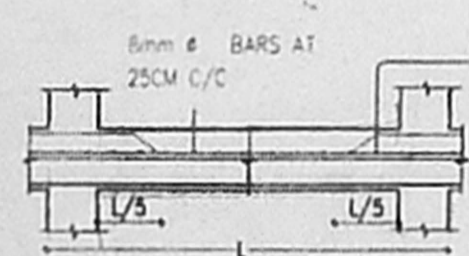
APPROVED
 SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER.
 No. B3/31057/2002 Date 22-12-2002
 23/12/2002
 23/12/2002
 LOW TERRACE
 FOR MEMBER SECRETARY
 CHENNAI METROPOLITAN
 DEVELOPMENT AUTHORITY
 CHENNAI-600 008.



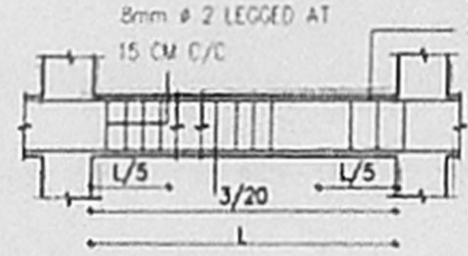
TERRACE FLOOR PLAN



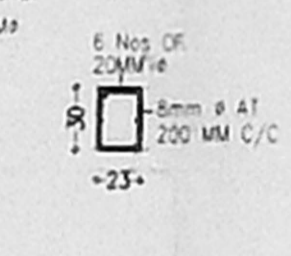
KERB WALL SECTION



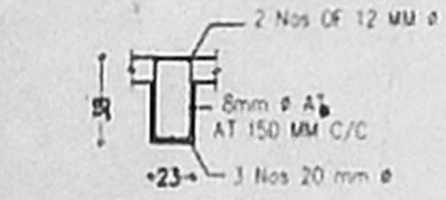
TYPICAL SLAB SECTION



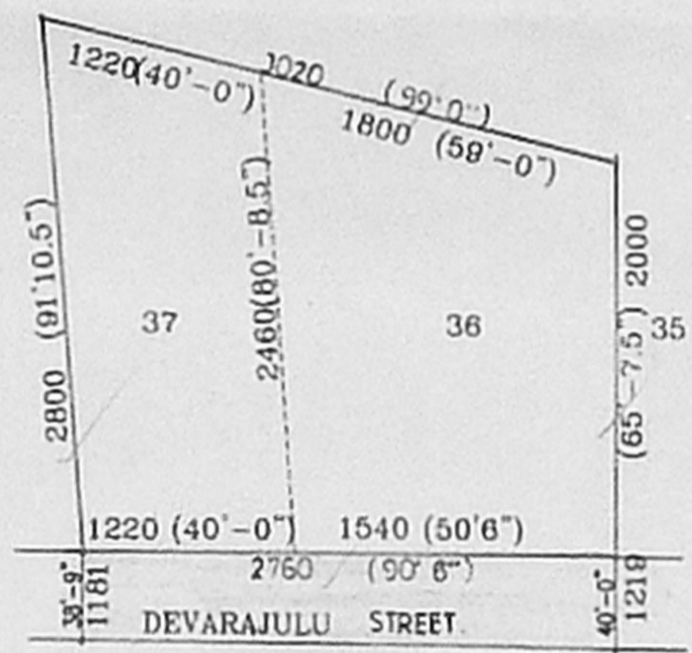
LONGITUDINAL SECTION OF TYPICAL BEAM



CROSS SECTION OF TYPICAL COLUMN



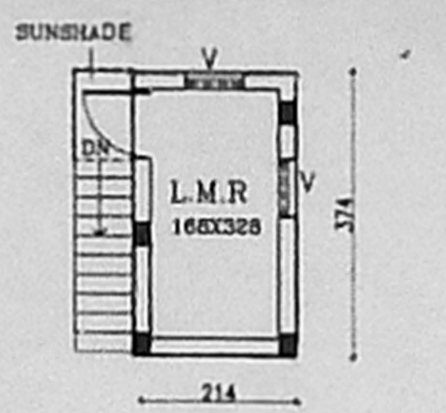
CROSS SECTION OF TYPICAL BEAM



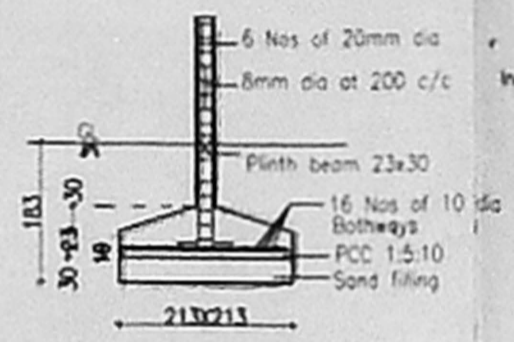
RECONSTITUTION PLAN
 SCALE: 1: 400

AREA AS PER S.L.R

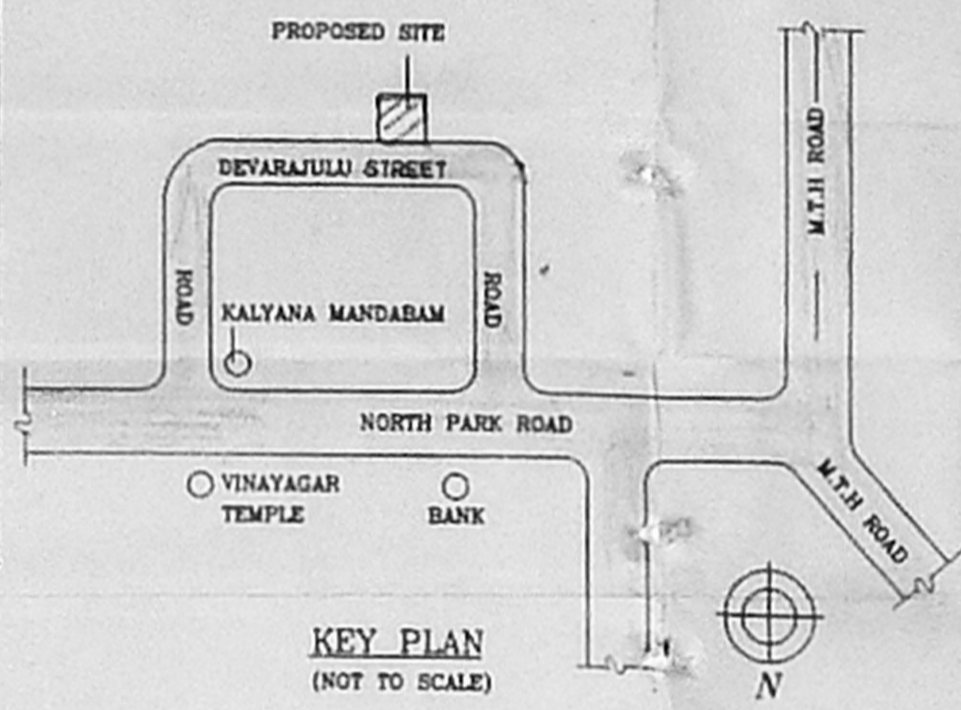
S.NO	AREA
36	370
37	321
	691 SQ.M



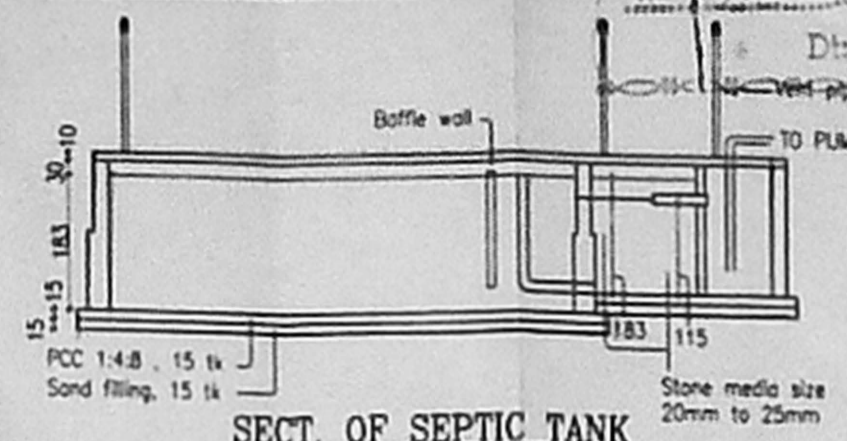
LIFT MACHINE ROOM



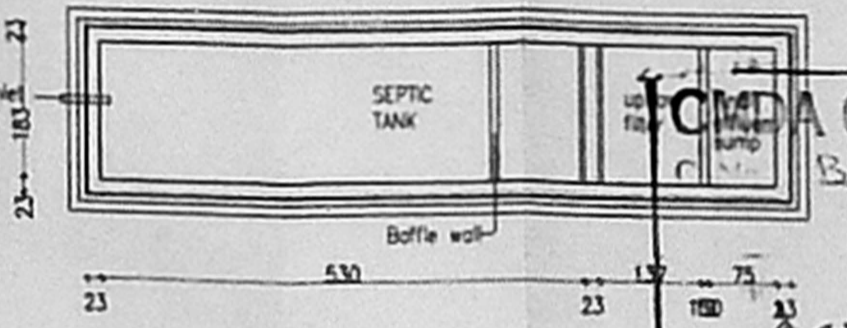
TYP - SQU FOOTING DETAIL



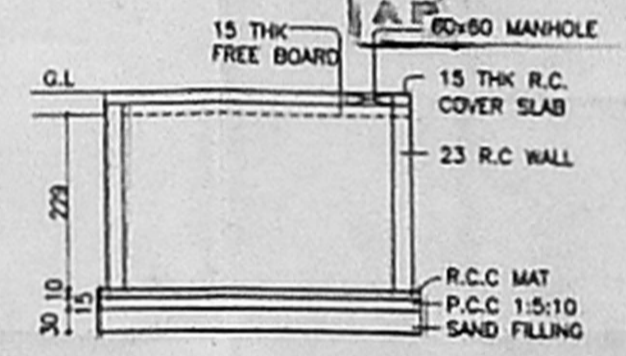
KEY PLAN
 (NOT TO SCALE)



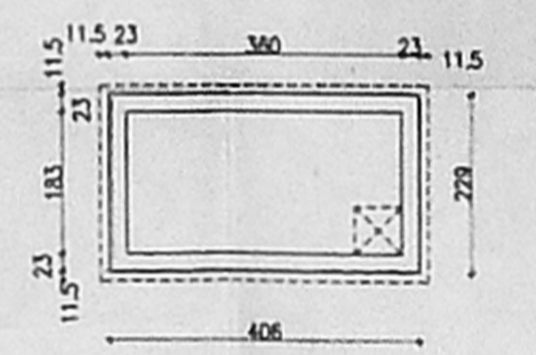
SECT. OF SEPTIC TANK



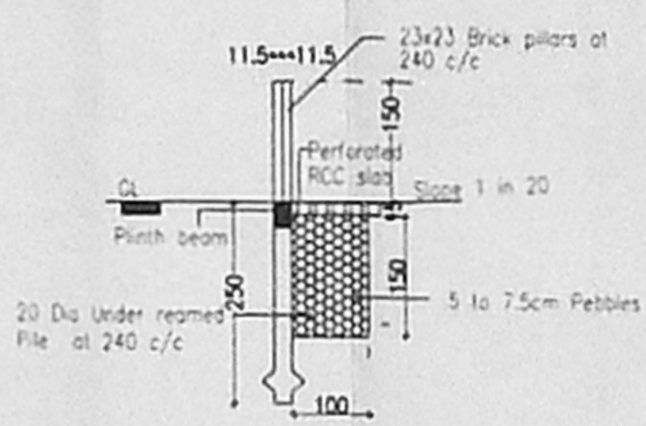
DETAILS OF SEPTIC TANK



SECTION OF SUMP



PLAN OF SUMP
 (SCALE 1:100) CAPACITY 15,080 LTS



RAIN WATER PRESERVING ARRANGEMENT

Revised Plan
 Dt: 12-12-2002
 JOINERY SCHEDULE

TYPE	DESCRIPTION	QTY
D	DOOR	91X213
W2	WINDOW	91X122
V	VENTILATOR	70X81

59.00
 x 37.50
 2172.75
 23/12/2002

ICMDA (B)/52 No. 1
 B3/31057/2002

D.P.

ALL DIMENSIONS ARE IN CM. SHEET NO 2/2

LEGEND

- PROPOSAL
- BOUNDARY
- ROAD
- SEWER LINE
- WATER LINE

PROPOSAL:
 PROPOSED RESIDENTIAL APARTMENTS AT
 DOOR NO: 18, S.NO: 36 & 37
 OLDSNO: 694/1A, 2PART BLOCK NO: 21,
 DEVARAJULU STREET, WARD-B,
 VENKATAPURAM, AMBATTUR, CHENNAI.

APPLICANT:

ARCHITECT:

C.R. RAJU, ARCHITECT
 COA No: 12626, 11A No. 7581
 R.A. No: 195 (CORPN. OF CHENNAI)
 9, 3rd STREET, GILL NAGAR
 CHENNAI-94. Ph: 3742024, 3741977